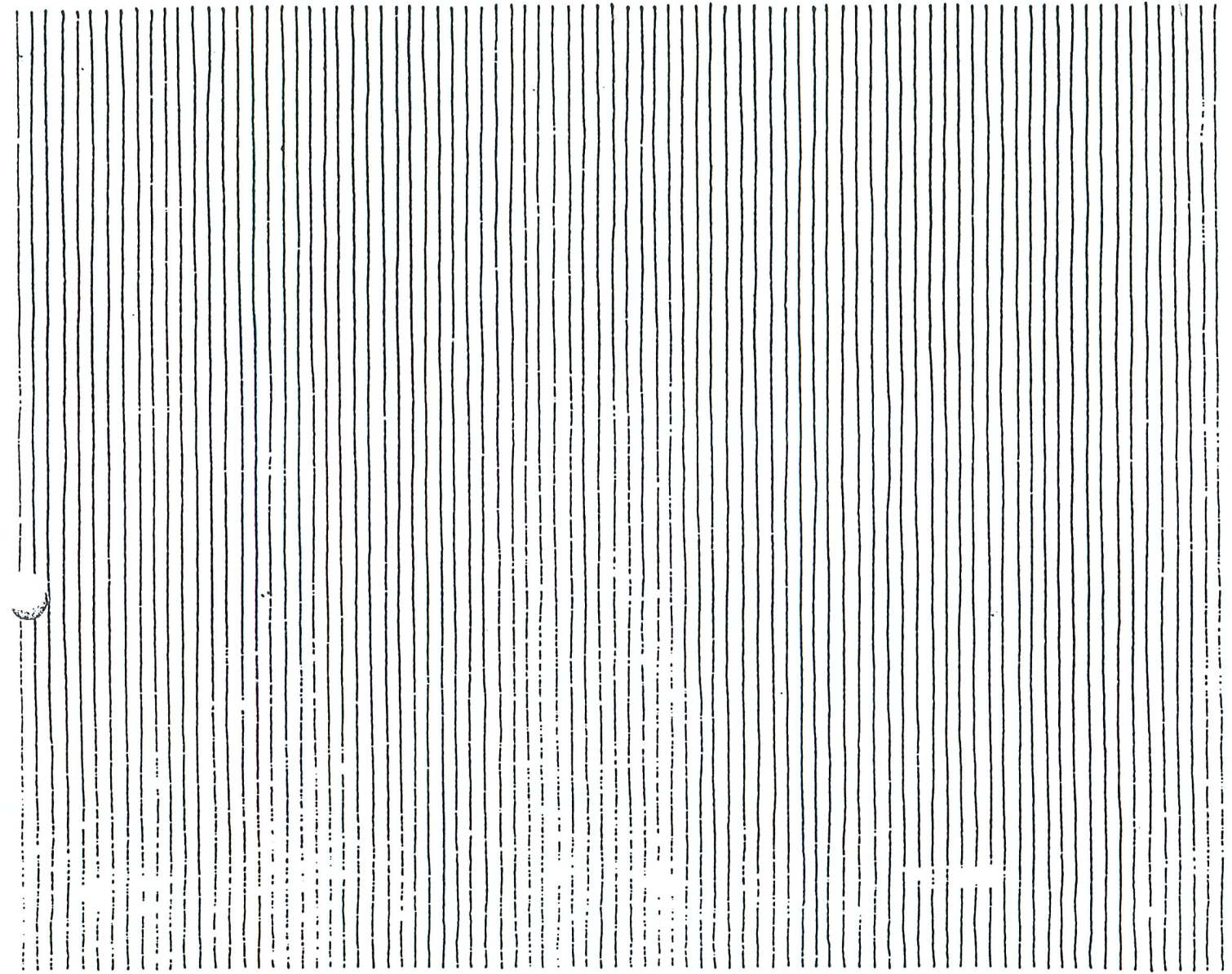


# CASTLE PINES

C O L O R A D O



· THE ARCHITECTURAL DESIGN GUIDE ·

Preparing the land and building new residential neighborhoods is an exciting and rewarding activity. It is undertaken variously by many different kinds of people having at times quite a range of goals and attitudes. Excellence is a term often used, but all too often fallen short of in the execution. We are working very hard to live up to that standard at Castle Pines. The planning and preparation of the land has been as meticulous as we are able to make it. Now that construction is to begin, we have prepared this Design Guide to assist in communicating our concepts of design excellence. It has been our goal to establish a broad framework within which quality of design will be insured while giving full range to the creative abilities of the Architect. We ask your assistance and cooperation to make Castle Pines a unique and beautiful community.

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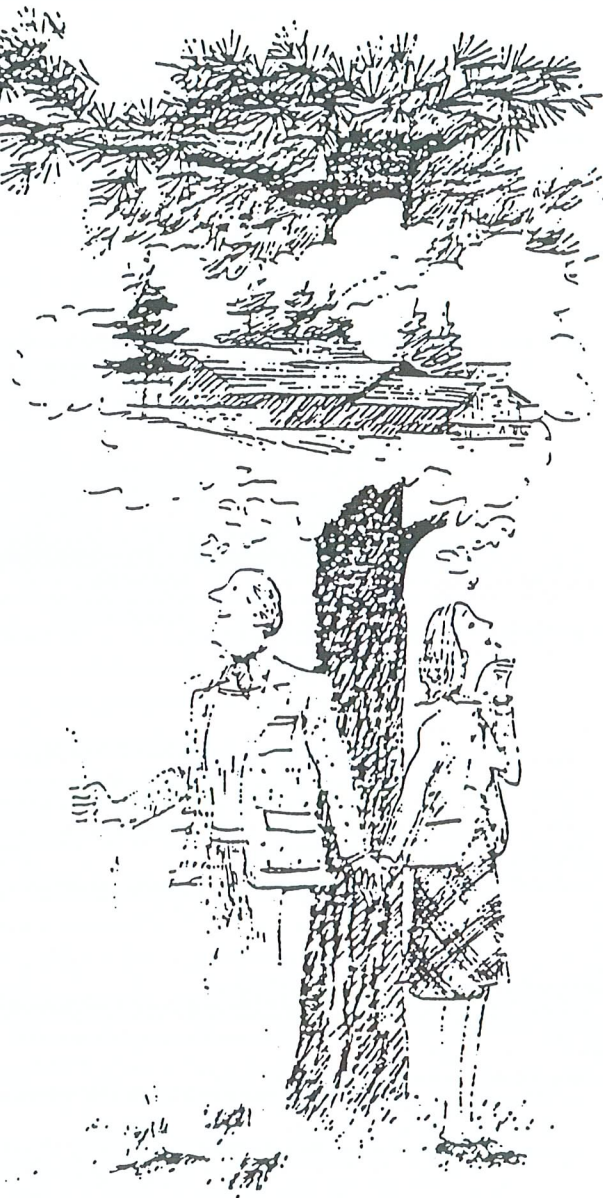
## PLANNING YOUR NEW HOME

The Castle Pines Design Review Guide has been prepared to provide guidance and direction to the homesite owner.

The intent is to insure the preservation of the natural beauty and balance of the site and maintain throughout the development, the high level of quality that has been established as the standard.

The Design Review Guide will be a valuable reference in making the planning process straight-forward and rewarding.

The retention of a design professional is utmost in importance to the process and is required of all owners for all development at Castle Pines.





A team of professionals has been assembled to establish the high standard of quality for Castle Pines.

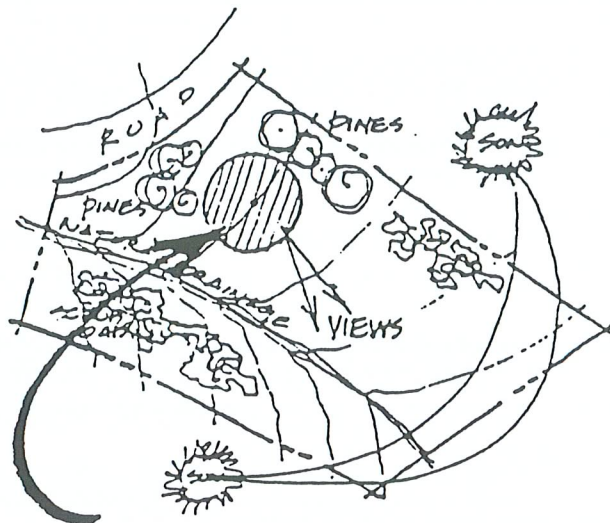
The team has walked and analyzed each individual homesite and has made recommendations for maximizing each site's best features with consideration for natural terrain and vegetation, views, orientation and access, and relationship to adjoining sites.

## DESIGN COMMITTEE

Selected members of the professional team will provide the service of design review and approvals. This process is the key to the successful development of Castle Pines.

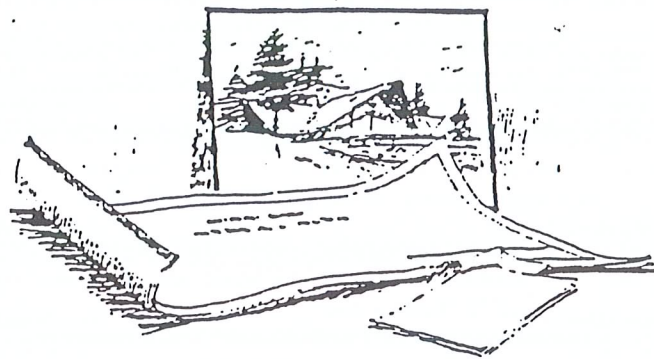
The committee's primary consideration is to aid you and your architect in maintaining the high quality standard set herein.

The Design Committee wishes to encourage individual expression while also achieving the design standards. This will serve to protect your investment in Castle Pines.



The prescribed building site has been established by the team of design professionals. It is the optimum location which maximizes the site features and privacy. Its center is described in the plat and stroked on the site.





• PROCEDURE FOR PLANNING A HOME •



## II KNOW CASTLE PINES

Acquaint yourself with the spirit of Castle Pines. Go out to your new homesite. Read the Castle Pines Design Guide and understand how it will help you learn about the site and plan your new home.

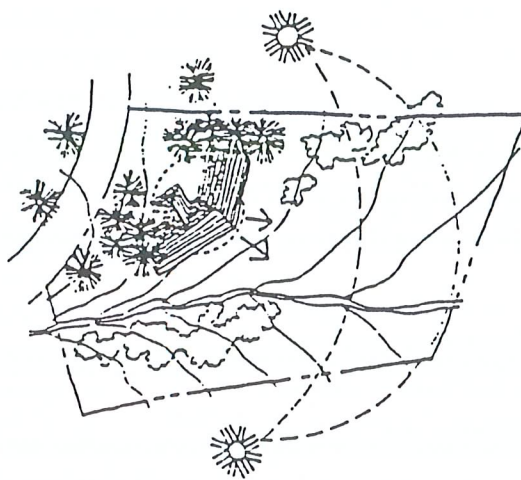
## 2 CHOOSE AN ARCHITECT

Select and retain your professional consultants. The sooner you select an architect, the greater his contribution can be. You must retain a surveyor immediately. The architect will need the topographic map to start planning

and design. At some point early in the design process it will be necessary to retain a qualified soils engineer to take borings and make a soils report. He will make recommendations that will be the required basis for the architect's foundation design. Castle Pines can provide a list of these consultants if you need assistance.

Be sure that all of your consultants read the Design Guide and particularly those sections which will affect their services.





• LAND USE GUIDELINES •



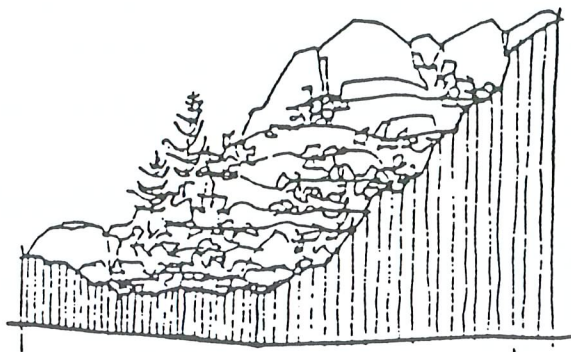
## INTRODUCTION

The intent of these guidelines is to give the new homesite owner a feel for the Castle Pines site in particular as well as some insight into sensitive and conservative land use practices. The goal is to make the necessary alterations to the land with the least impact to the natural setting... to make it appear that no alterations were made at all.

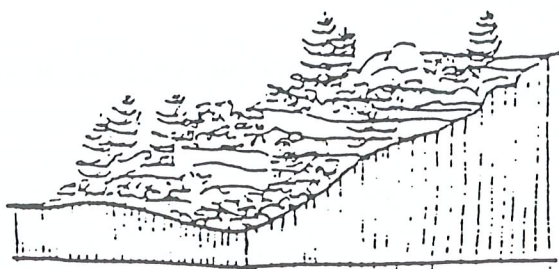
Within the single-family areas of Castle Pines there are five basic landscape types characterized by differences in terrain and vegetation. Specific criteria have been established for development which responds to those differences from site to site.

## SITE CLASSIFICATION

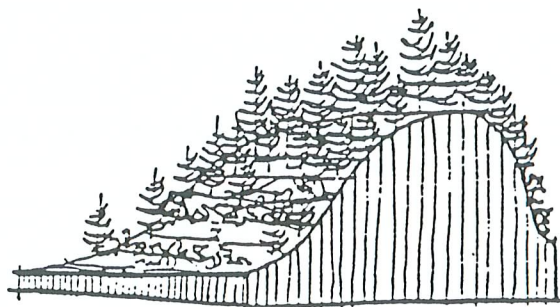
An important first step upon selection of your homesite is to determine which of the 5 land use types best characterizes your particular site. These 5 types are physically described by:



**1 UPPER BENCHES & HILLSIDES**  
Steep, rocky, irregular densely covered by oak



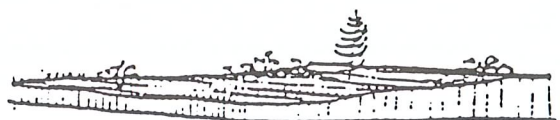
**2 UPPER SIDEHILL**  
Rolling slopes with some rock outcrops sparsely covered with oak and some pines



**3 MIDDLE RIDGES & PROMONTORY**  
Very irregular and sculptural sloping ridges with steep drop-offs to washes and valleys densely covered with pine



**4 LOWER VALLEYS**  
Gently rolling slopes to washes or basins Grassy with patches of oak and occasionally pines



**5 LOWER FLAT**  
Little slope or topography, grassy with little or no oak or pine



Having classified your site into one of the 5 landscape types, refer to the criteria for your land use type in the following pages and determine the allowable "building envelope" within which your improvements can be made. These constraints on building size, shape, height and allowable land coverage, along with the prescribed building site serve to maximize the amenities of each site and protect the natural setting of Castle Pines. Suggestions are also presented for siting and access.

## THE BASIC CONSTRAINTS FOR EACH LANDSCAPE TYPE ARE:

### IMPERVIOUS COVERAGE

This is the optimum % of the sq footage of the site that may be developed including coverage by house, garage, decks, terraces, pools, tennis courts, walks paths and all paved areas including parking drives and apron, but may vary from site to site with consideration of tree cover, topography, appearance from neighboring areas and drainage.

Excluded is an allowance for a 12 ft. wide access drive from the road to the prescribed building site.

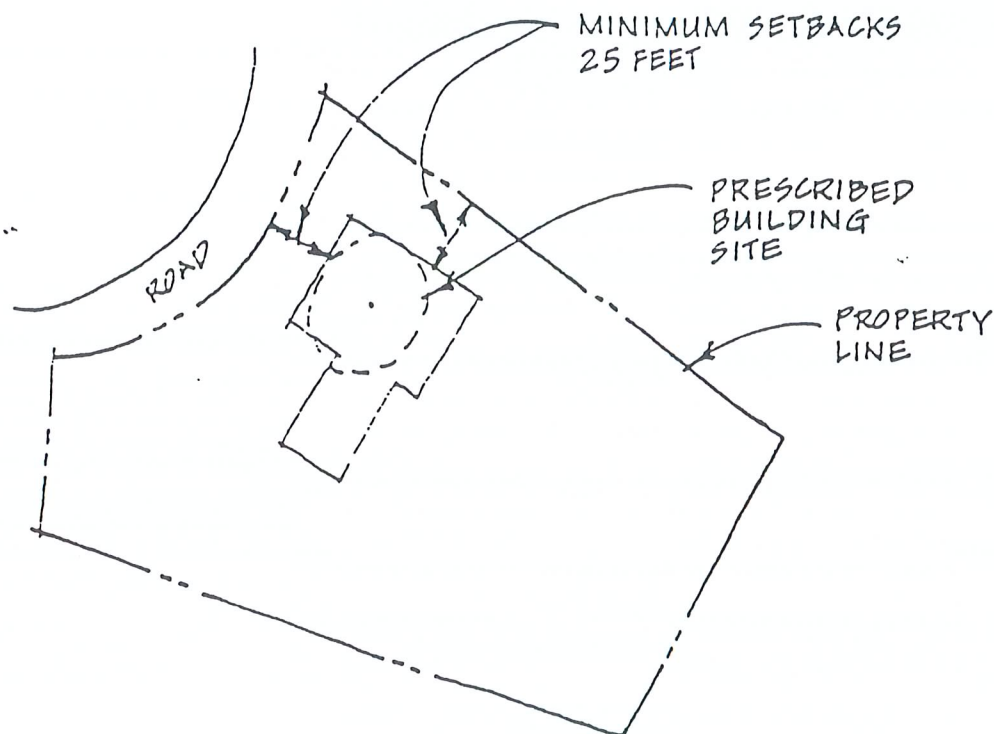
**BUILDING HEIGHT AND PROFILE**  
by number of stories in relationship to terrain. Multilevel designs must follow general slope of site. The intent is to keep building height and profile in scale with surrounding features such as trees and topography.

**SETBACK FROM PROPERTY LINE**  
(Prescribed building site)  
80% of the building improvements must

occur within the 100 ft. diameter of the prescribed building site.

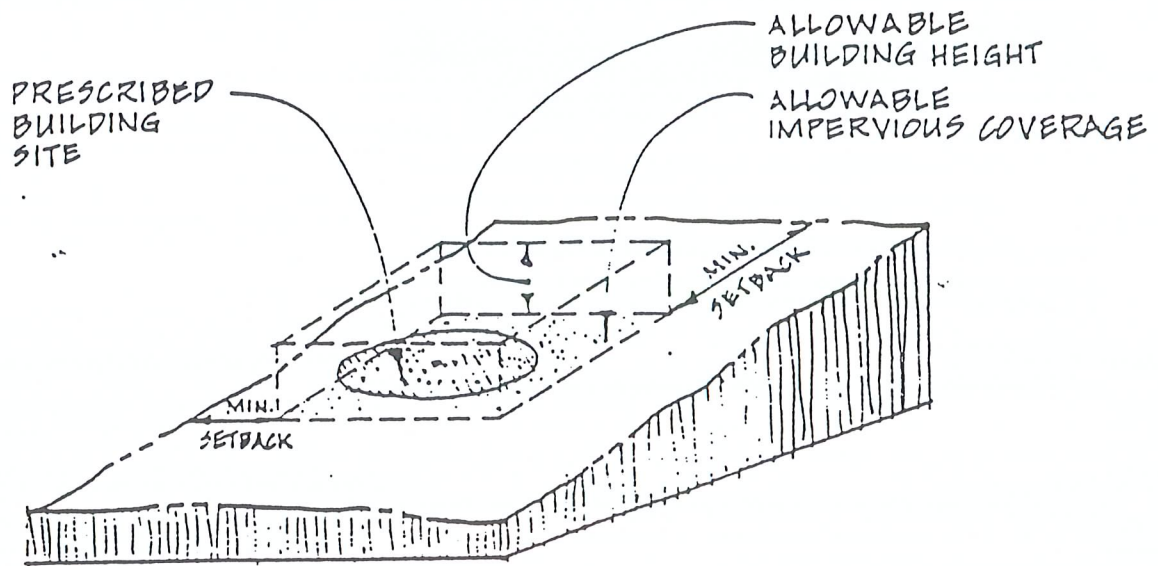
25 feet is the minimum set back from any property line to the building line.

In special site conditions usually associated with difficult terrain, the minimum setback may be reduced only to the extent that the prescribed 100 ft. diameter encroaches the setback.



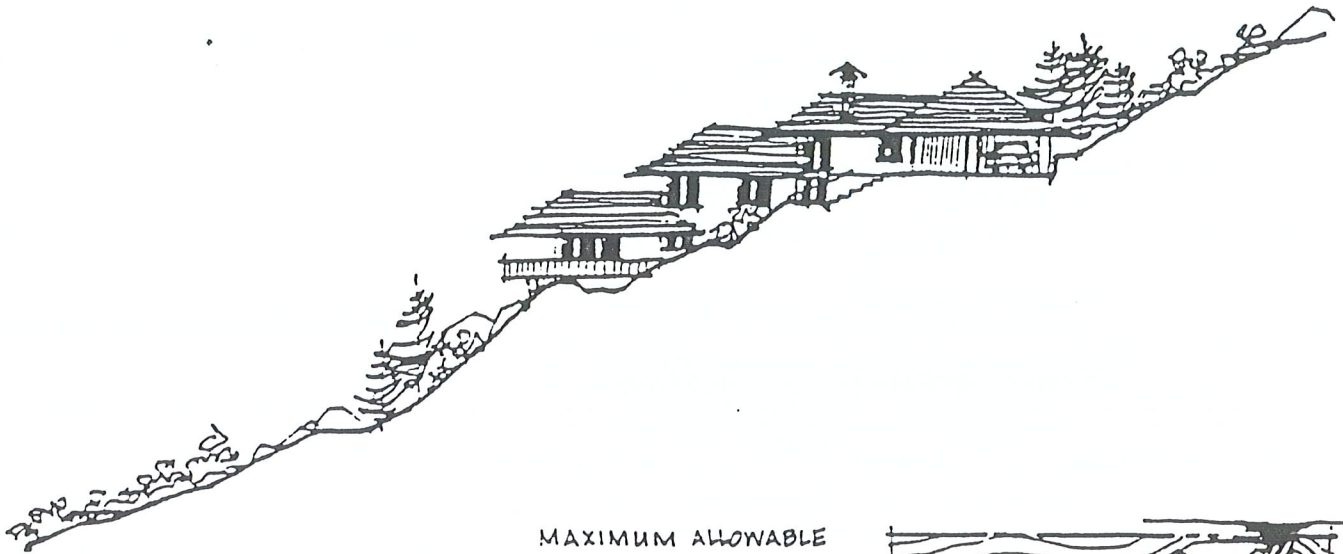
## BUILDING ENVELOPE

The "building envelope" is the actual volume of space that the house may occupy on the site. This is established by the three building constraints described and may be thought of as a three dimensional container in which the improvements can be made.





## II UPPER BENCHES AND HILLSIDE



MAXIMUM ALLOWABLE  
~~IMPERVIOUS~~ COVERAGE  
IMPERVIOUS

15%

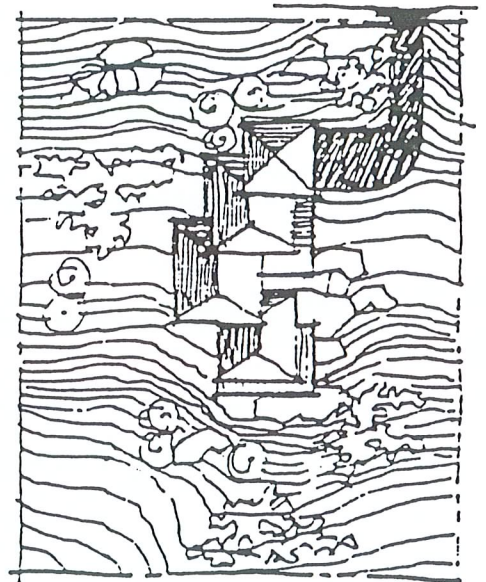
MAXIMUM BUILDING  
HEIGHT (STORIES)

2

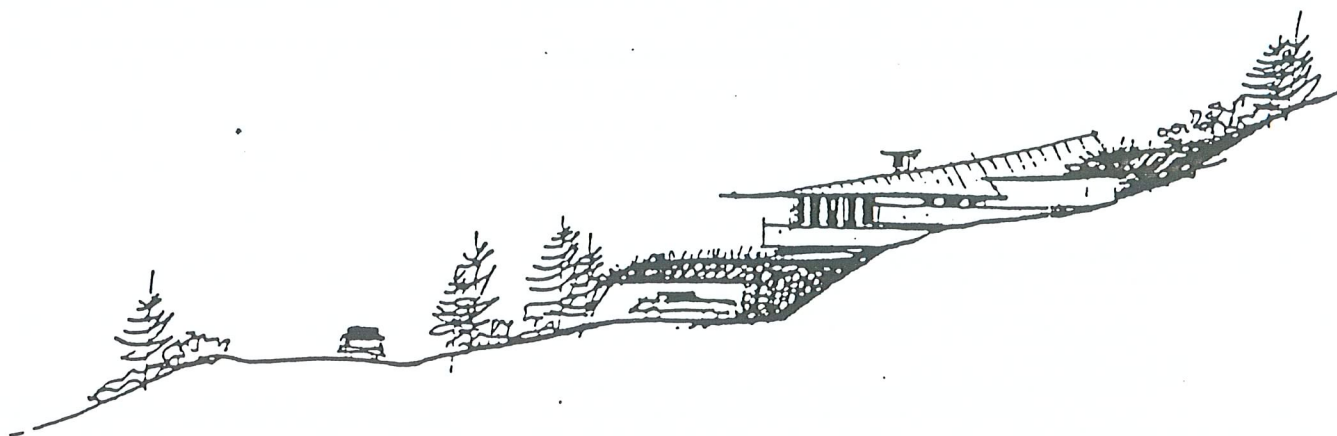
FOLLOW SLOPE WITH ROOF LINES

MULTILEVEL, STEP DOWN  
HILLSIDE, FOLLOW CONTOURS  
W/ACCESS AND BUILDING PAD

MINIMUM SETBACK  
AND ACCESS DRIVES



## 2 UPPER SIDEHILL



MAXIMUM ALLOWABLE  
IMPERIOUS COVERAGE

20%

MAXIMUM BUILDING  
HEIGHT (STORIES)

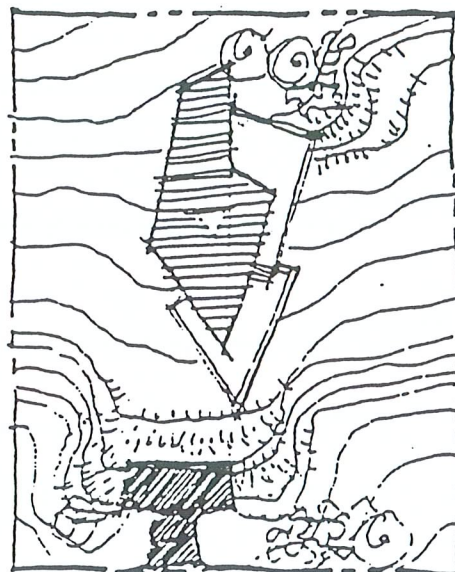
2

SPLIT LEVEL

LOW PROFILE OR BURY INTO HILLSIDE  
MAINTAIN OPEN ROLLING CONTOURS

MAXIMUM SETBACK

FOLLOW CONTOURS  
WITH ACCESS DRIVE



### 3 MIDDLE RIDGES AND PROMONTORY



MAXIMUM ALLOWABLE  
IMPERIOUS COVERAGE

15%

MAXIMUM BUILDING  
HEIGHT (STORIES)

3+

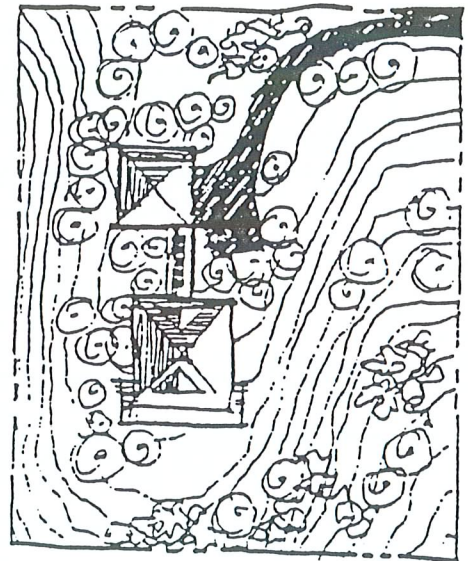
1 STORY AT STREET

TALL VERTICAL BUT NOT TO EXCEED  
AVERAGE TREE HEIGHT

SMALL FOOTPRINT  
PRESERVE NATURAL CONTOURS  
AND FEATURES

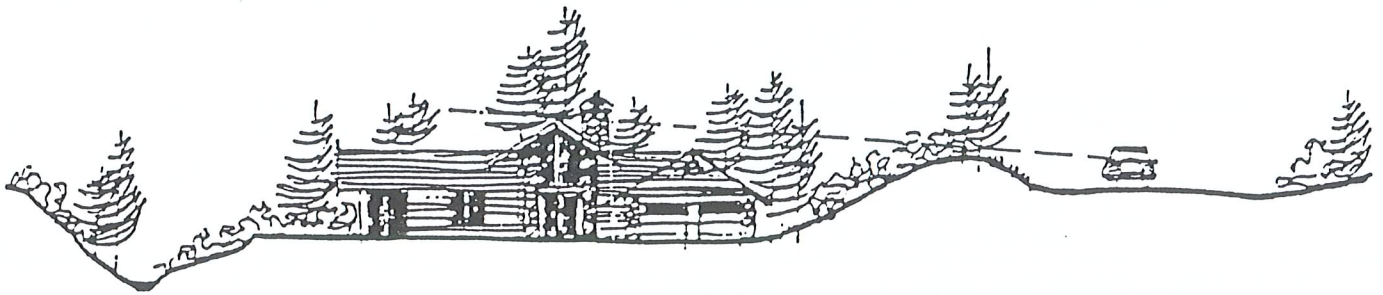
0 SETBACK

MINIMUM ACCESS DRIVES





# 4 LOWER VALLEYS



MAXIMUM ALLOWABLE  
IMPERIOUS COVERAGE

20%

PRESERVE NATURAL MEADOWS  
AND DRAINAGE FEATURES

MAXIMUM BUILDING HEIGHT (STORIES)

1 OR 2

STAY BELOW AVERAGE TREE HEIGHT

SPLIT LEVEL

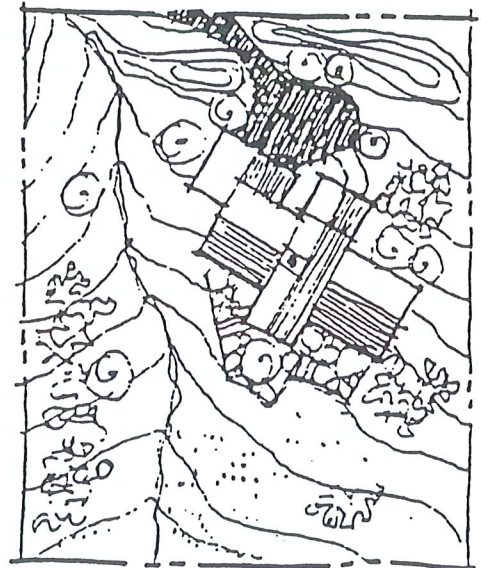
LOW PROFILE

MAXIMUM SETBACK

SCREEN FROM VIEW WITH NATURAL

SHAPED BERMS AND VEGETATION

MAXIMIZE USE OF EXISTING VEGETATION



## 5 LOWER FLAT



MAXIMUM ALLOWABLE  
IMPERIOUS COVERAGE

25%

MAXIMUM BUILDING  
HEIGHT (STORIES)

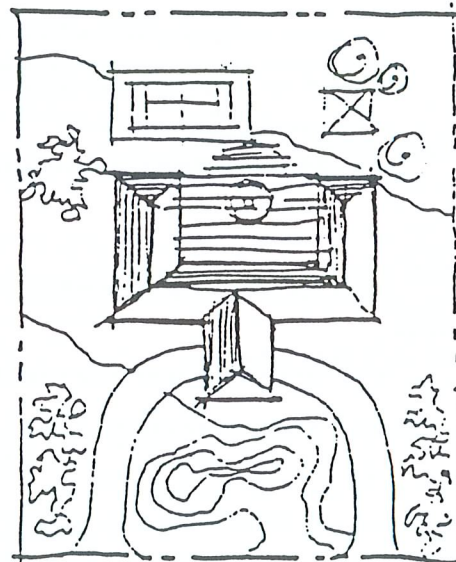
1

LOW PROFILE

SWEEPING

DUG IN

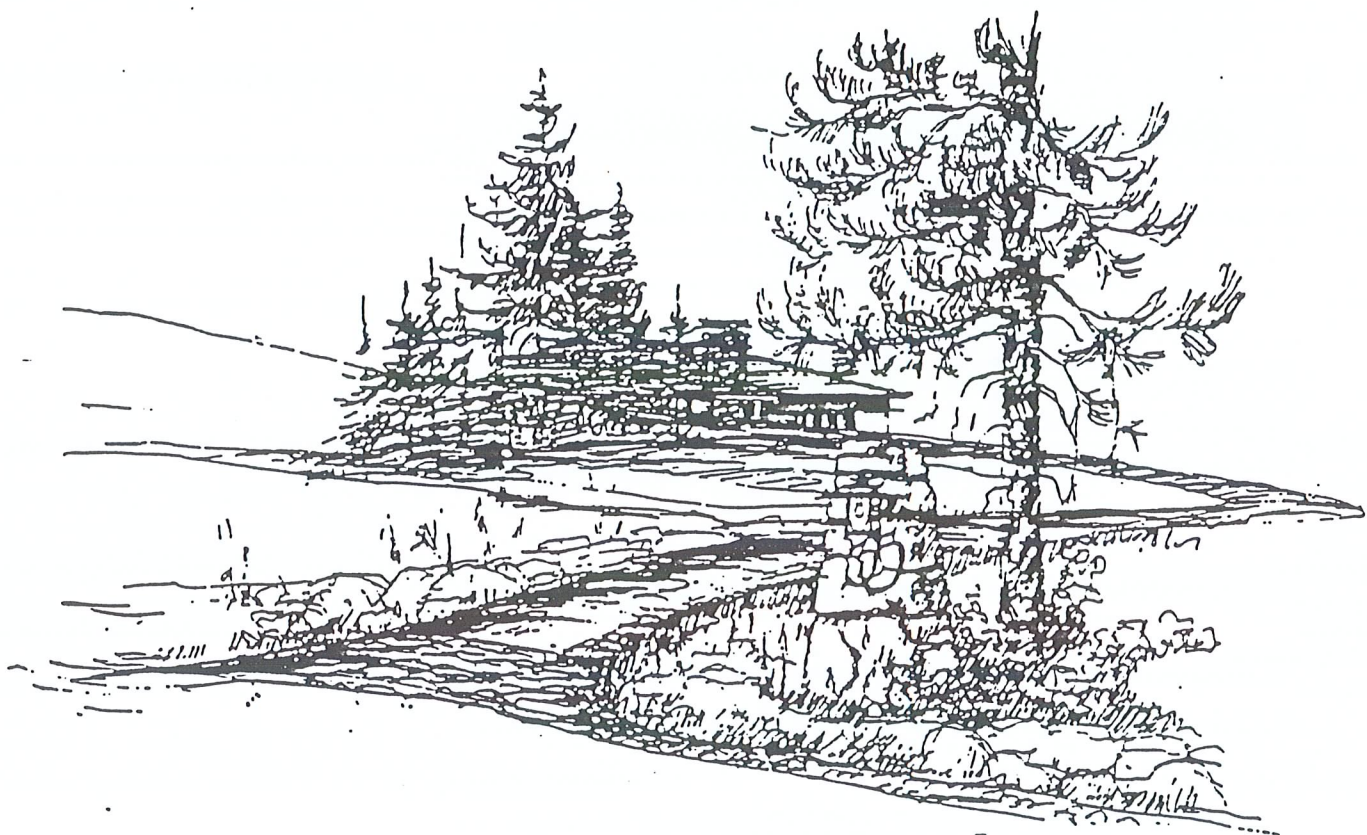
MAXIMUM SETBACKS



## SITE IMPROVEMENTS

It is anticipated that various appurtenant structures and site features will be constructed when homes are built, or added at some late date. The importance of carefully integrating the design of such

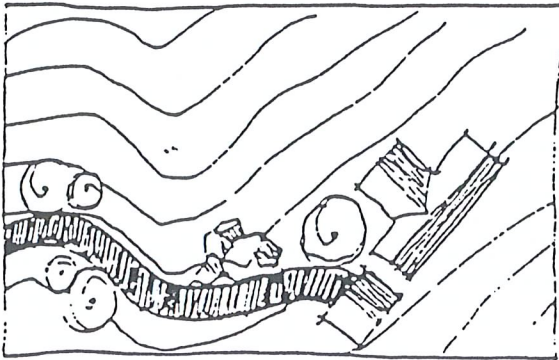
features cannot be overemphasized. Well done, they can be a significant enhancement. Poorly handled, they can completely ruin the appearance of a well designed house.



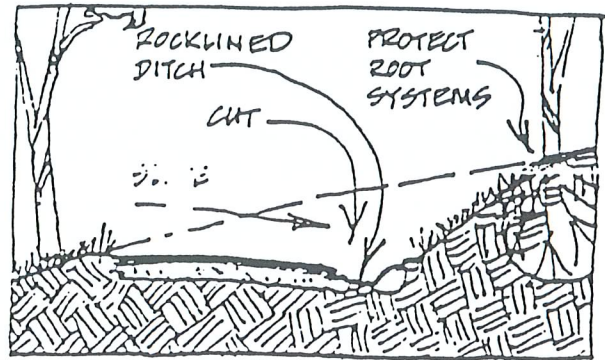


## ACCESS, GARAGES, PARKING

Conditions of the site will, in some cases, indicate the logic of some detached buildings. Their design and location in relationship to the house is essential. Where a physical connection in the form of a covered walk occurs, it must have a feeling of being a necessary, integrated part of the whole sculpture - not some tacked-on requirement of function. Wherever possible, buildings should be oriented so that access is indirect and their opening does not directly face the public road.



Access drives in most cases will have the greatest impact on the site. Consequently, greatest care should be given to their planning and design.



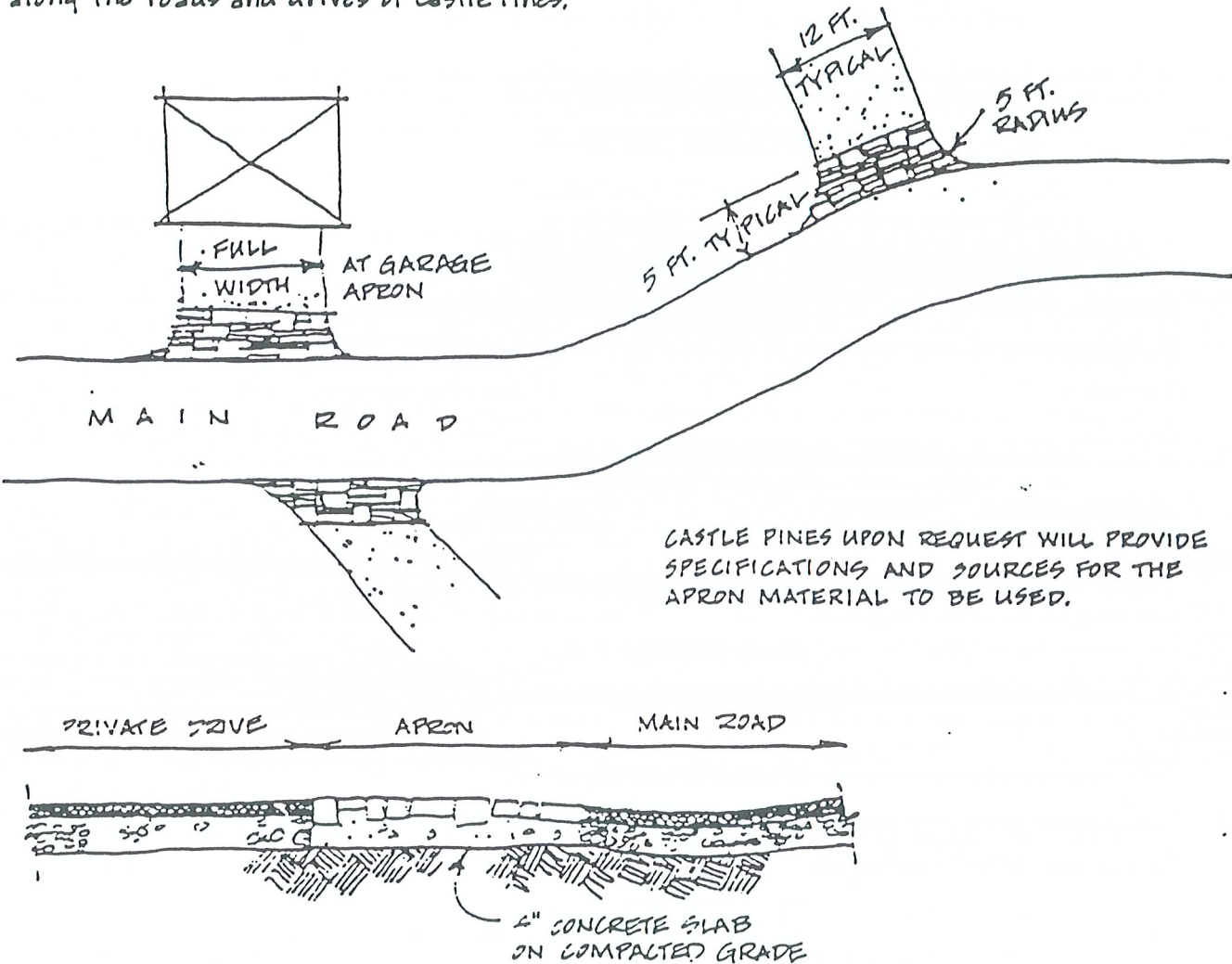
In all cases, access drives should generally follow the natural contours of the site, meandering around and between existing trees and rock outcrops. Long straight runs even if possible should be avoided in order to maintain a 'natural' appearance.

Generally, roadbeds cut into the slope is preferable to fill. Roadways should drain to rock-lined ditches and culverts on the uphill side.

Cut banks should have natural 'rolling' character of surrounding terrain and be replanted with native planting material. Protect root systems of nearby trees and do not alter grade within the dripline.

Where access drives intersect arterial roads it is required that each homesite owner provide a transitional apron between the road and his access drive. The prescribed apron material to be used will provide a link of continuity along the roads and drives of Castle Pines.

Driveway materials may vary as they relate to individual architecture, but should always maintain a 'finished' purposeful quality. Drainage across driveways where required should be integrated into the design of the drive or apron.



CASTLE PINES UPON REQUEST WILL PROVIDE SPECIFICATIONS AND SOURCES FOR THE APRON MATERIAL TO BE USED.

## GRADING AND DRAINAGE

The intent and goals of the land planners and landscape architects at Castle Pines is to preserve the natural existing topography and maintain the delicate system of natural drainage structures, washes and creek beds.

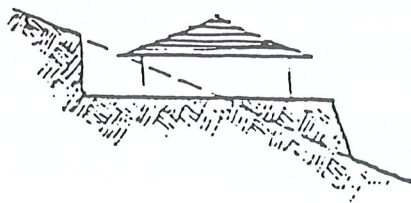
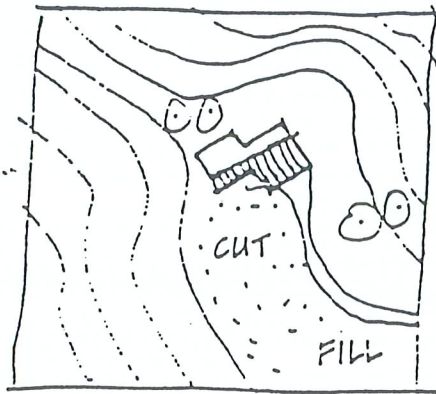
Any improvements that have been made were carefully planned to minimize disruption to the existing ecosystem or alteration to the topography. The prescribed building sites have been located

to minimize grading and avoid the primary natural drainage systems. These attitudes and goals must be carried through to all levels of development - including individual home sites.

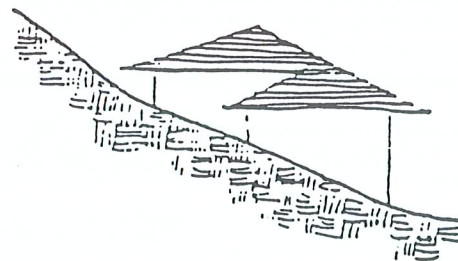
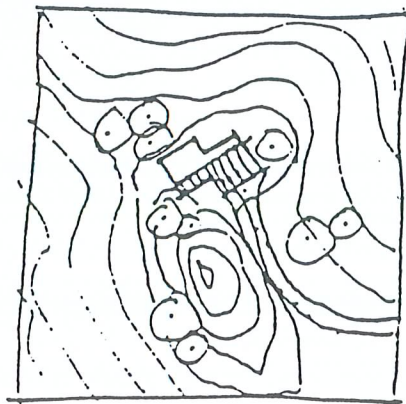
Excessive grading consequently should not be necessary and is not desirable for sensitive siting of improvements.

Compliance with these guidelines will be looked for in the design review process and in the field during construction.

NOT THIS

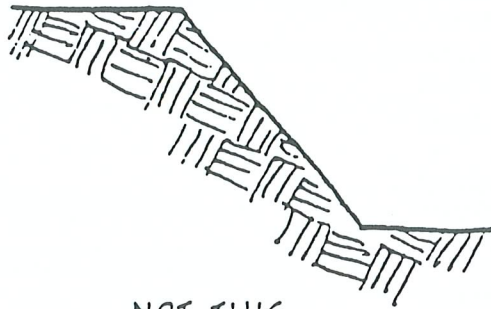


THIS





Any minor grading that is required should be done so as to maintain the natural existing softness of the terrain.

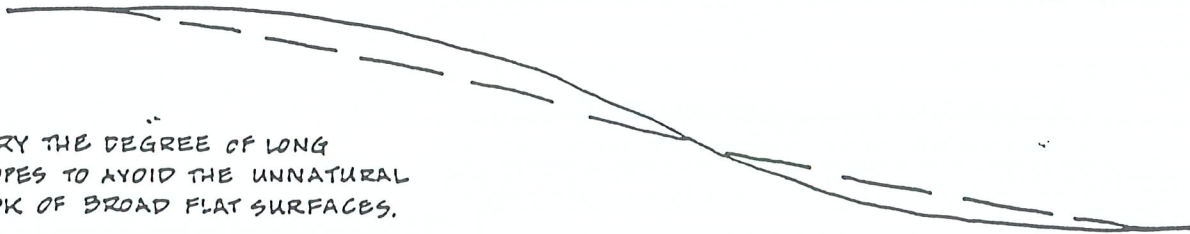


NOT THIS



THIS

GRADING SHOULD PRODUCE GRACEFUL CONTOURS, NOT SHARP ANGLES. PROVIDE TRANSITION AT THE HEAD AND TOE OF SLOPES



VARY THE DEGREE OF LONG SLOPES TO AVOID THE UNNATURAL LOOK OF BROAD FLAT SURFACES.

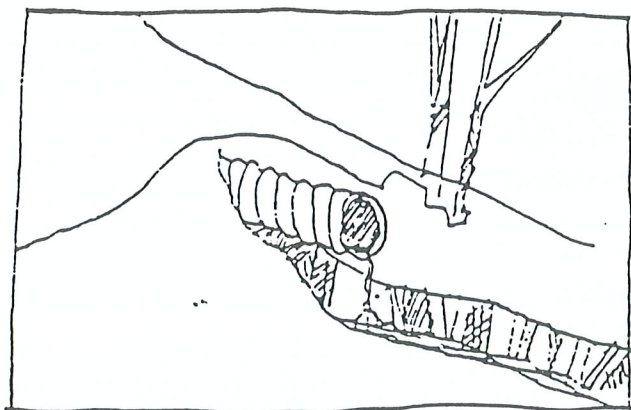
## EROSION

It is of great importance to provide temporary erosion control during the construction period. To prevent damage to the site and siltation of adjoining areas. Use temporary barriers and drainage structure as needed.

## DRAINAGE

Drainage swales or washes interrupted by site improvements or additional drainage structures created by such improvements shall be constructed or reconstructed of natural materials properly placed for positive operation of the drainage system.

EROSION IN ALL CIRCUMSTANCES IS TO BE CONTROLLED.



NOT THIS

THE USE OF EXPOSED DRAIN PIPE OR IMPERVIOUS MAN-MADE SWALE LINING MATERIAL IS TO BE AVOIDED.



THIS

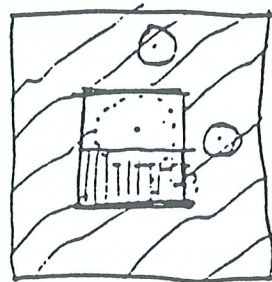
NATURAL APPEARING DRAINAGE STRUCTURES USING NATIVE OR NATURAL MATERIALS SHOULD FOLLOW NATURAL COURSES OVER THE TERRAIN.

## LANDSCAPING AND VEGETATION

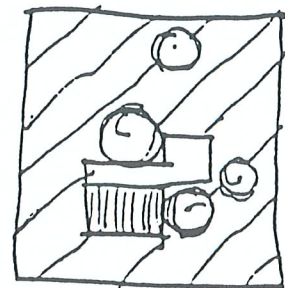
The goal and intent of these guidelines is to aid you in protecting and enhancing the existing landscape and vegetation. Preservation of existing native species is paramount and all plans for improvement must respect existing tree location, especially mature specimens. Equipment is available at Castle Pines for moving trees that are in direct conflict with building sites.

If evidence can be given at the initial design review that certain trees must be removed to allow improvement, such trees if not needed elsewhere on that site will be moved by Castle Pines to other areas in the development and the owner will be compensated for the value of the tree.

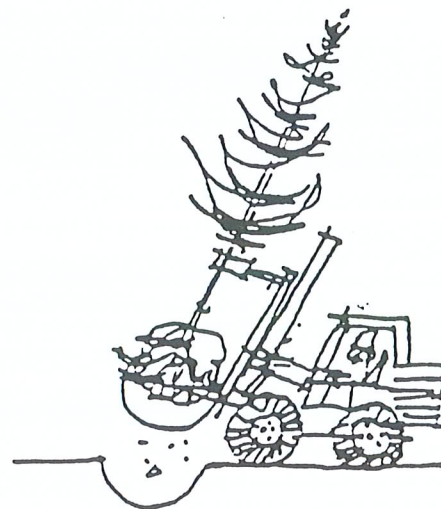
Intentional or unintentional removal of or damage to any trees other than those specifically approved by the Design Review Committee for removal is a violation of the covenants and all appropriate remedies will be invoked in such cases.



NOT THIS



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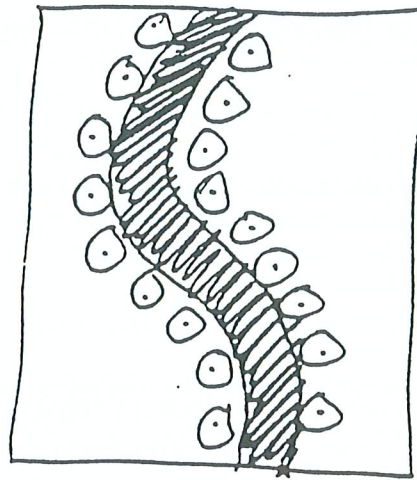




To enhance the existing natural landscape, additional vegetation should compliment native species and be compatible with existing environmental and ecological conditions.

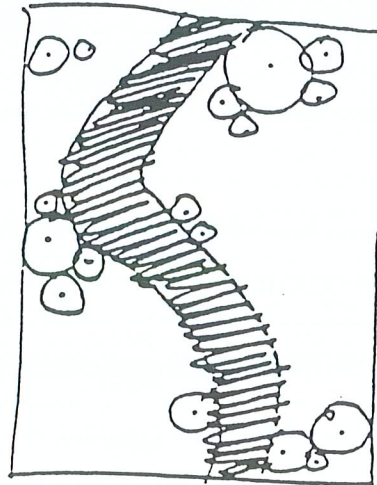
To this end a comprehensive list of compatible species with descriptions and planting guidelines is referenced in the back of the Castle Pines Design Guide which will be updated periodically.

Added materials shall be planned in informal groupings as the existing natives.



"TREE  
LINED  
DRIVE"

NOT THIS

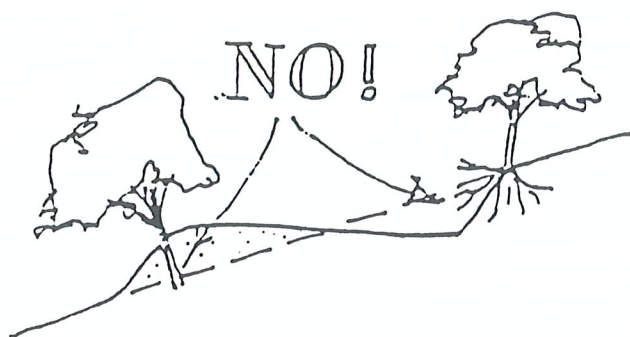
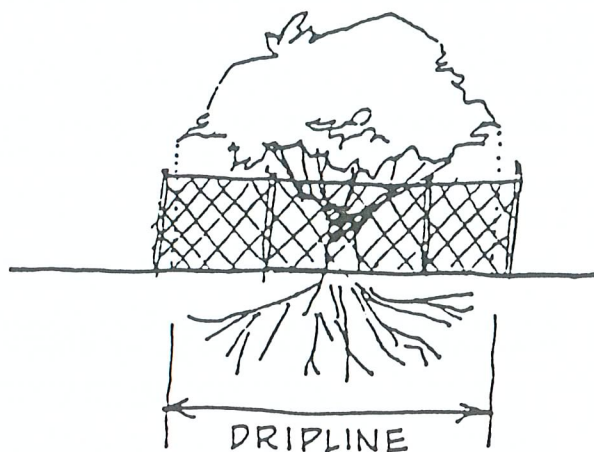


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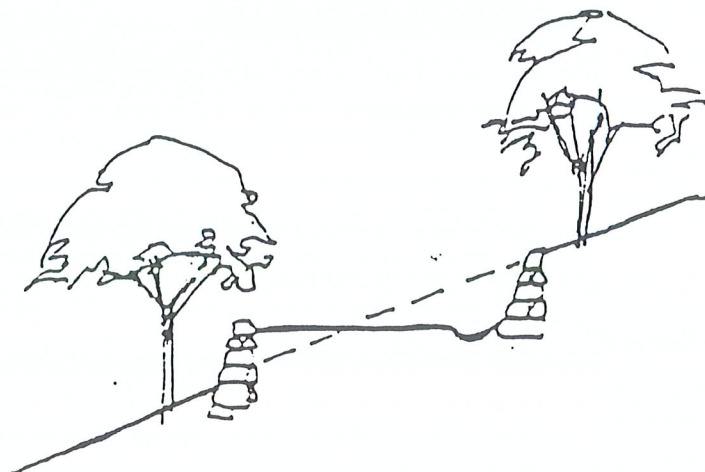
No grading shall take place within the dripline of trees to be preserved. Sensitive root systems fall within this area and must be protected.

Temporary fencing at the dripline will help prevent alteration of grades and damage to branches and foliage by equipment during construction.

In some cases, it may be necessary to provide retaining structures such as stone tree wells to protect trees and maintain grade near adjoining roads or other graded areas.



DON'T EXPOSE ROOTS OR FILL AGAINST TRUNKS!



RETAINING STRUCTURE SHOULD BE NATURAL IN APPEARANCE. USE NATURAL MATERIALS SUCH AS STONE.

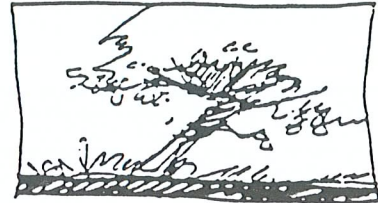
# • LAND USE GUIDELINES •

Maintenance of existing native landscaping and additional complimentary plant material shall be done with care to avoid an over-manicured appearance.

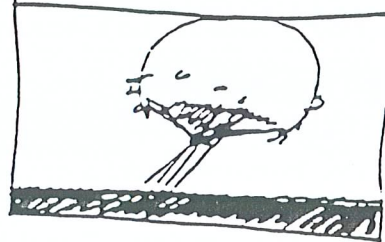
Tall grasses and underbrush around larger trees is especially combustible fuel for wild fires and should be removed. The lower deadwood on tree trunks, especially common on larger pines, is also a combustible link to grass fire and should be removed. Dead and straggly material can be removed and still maintain natural appearance.



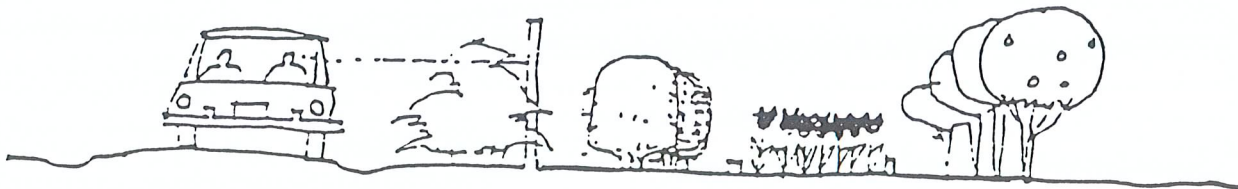
FROM THIS



TO THIS



NOT THIS



FORMAL OR EXOTIC SPECIMEN GARDENS AND LANDSCAPING IF APPROVED BY THE DESIGN COMMITTEE MUST BE SCREENED FROM THE GENERAL VIEW FROM SURROUNDING AREAS. THE SCREENING ITSELF MUST BE UNOBTUSIVE.



## DECKS AND TERRACES

Outdoor living will certainly be one of the great pleasures of having a home at Castle Pines. The nature of the land forms will influence the choice among on-grade yards, raised or sunken terraces and decks to provide the best spaces for that purpose. Yards and terraces should be designed so as to be an extension of the architecture while also responding to the land form. The landscape should provide a key element in a comprehensive design that integrates the man-made features with the natural terrain and vegetation. Care should be taken on upper hillside sites to aesthetically consider the undersides of decks and terraces as well as their surfaces. Natural materials such as stone walls should be used as a transition to more contained man-made landscapes set among Castle Pines natural open spaces.

## POOLS

The size, shape and siting of swimming pools must be carefully considered to achieve a feeling of compatibility with the surrounding natural and man-made elements. The color of the shell should be finished in muted, neutral tones, avoiding bright colors. Pool and equipment enclosures must be architecturally related to the house and other structures in its placement, mass and detail. Covers such as inflatable "bubbles" will be unacceptable. Location on the site should consider the best orientation including tree locations for sun.

## TENNIS COURTS

Some lots have an appropriate site for a tennis court. In general, they should be built in a manner and location that does not require extensive grading and tree removal or construction of raised decks with large retaining walls. Design and color of fencing materials should blend naturally into the surrounding area and plant materials should be added where necessary to soften the visual impact. Surface colors should be restricted to soft reds and greens and not be highly reflective. Tennis courts should be screened from adjacent properties.

with the use of natural plant materials, fencing and a minimum setback of 25 feet from the property lines. Night lighting of tennis courts will be prohibited.

## FENCES

The greatest preservation of the natural environment at Castle Pines would be realized if no fences were to be built. We understand, however, that there is a functional necessity to enclose areas for protection of children and containment of pers. Fencing where required should be an extension of the architecture and architectural materials and used only where necessary. Natural plantings should be used to further mask the fence and its location on the site selected so as to be as unnoticeable as possible from the road and surrounding properties. Fences utilized as sight screens around such areas as yards must be conceived as an integral part of the overall design of the building and not simply a tacked on element dictated solely by function.

## LIGHTING

Outdoor lighting will be carefully reviewed to assure that neighboring properties are protected from the view of bright light sources. No flood lighting will be permitted and illumination necessary for evening activities must be directed downward and be only bright enough to provide for the safe traverse of steps and paths. Subtle lighting of architectural elements will be encouraged while more ornate lighting types such as tree uplights, colored lights, etc. are not supporting of the natural quality of Castle Pines. Along the same lines, exposed light sources are discouraged in favor of a softer downlighting that reduces glare and better lights the surfaces of roads, walks, etc.




# • L A N D U S E G U I D E L I N E S •

## PAVING

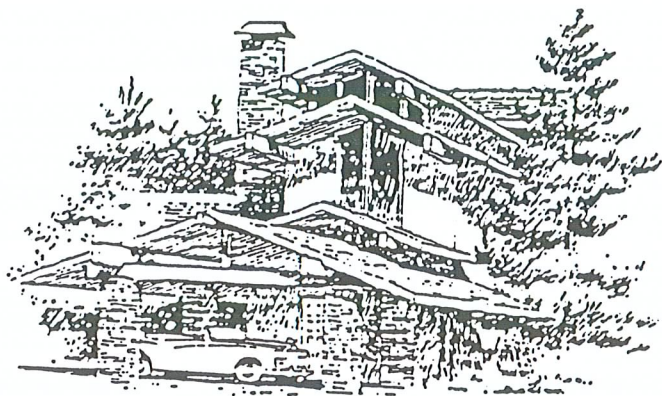
It is the goal at Castle Pines to limit the impervious cover of the ground to the optimum area commensurate with the needs of access and gracious living. Excessive areas of pavement will be discouraged. Paving materials for driveways, paths, steps, patios and other areas should have a dull, nonreflective surface and color that blends well with the natural surroundings. Castle Pines will also have a sample board available at its sales office of the theme materials used throughout the project as well as some compatible alternates to assist in this selection.

## VIEWS

Castle Pines is set amidst a beautiful environment with differing vistas from all parts of the site. When planning your home, care should be taken to visually use the natural materials, trees, shrubs, fences etc. to provide filtered and selected views out from each house. At the same time care should be taken to help screen and filter views back to the house and its service areas. Because of the varied on-site conditions (homesites viewed from below, homesites viewed from above, homes adjacent to roads, etc.) the homeowner and consultants should participate in an on-site visit with a representative of Castle Pines design team to point out those particular areas of potential and of concern to the overall community's cohesiveness. In addition, there are several magnificent views from the community roads in Castle Pines. These key view corridors have been identified and individual lots falling within these zones are encouraged to site building structures and tall plant materials so as to preserve these views for the entire community.







• ARCHITECTURAL GUIDELINES •

## INTRODUCTION

Architecture can and should be a very personal expression through an architect's design of an owner's needs, taste and individuality in a new home.

The intent of the Castle Pines Architectural Guidelines is to encourage individual expression and through an outline of basic and simple criteria for sound architectural practice and good design, aid you and your architect in achieving the design goals of Castle Pines.

In essence, architecture should reflect the natural, quiet mood of Castle Pines. Through choice of natural materials and colors and by maintaining scale with the surroundings design in harmony with your neighbors and Castle Pines as a whole.

It is of prime importance to have in mind that your new house is a three dimensional, sculptural object.

Because of the unique topography and planned low density of Castle Pines, most building sites are visible from many directions; not just from roads but as distant views across valleys or filtered views through the trees from public areas and other homesites.

Design your house considering each side as important as the front or entry side. Consider the appearance of the roof from above and overhangs from below.

In approaching either the creation or analysis of a building design, it is logical and appropriate to consider three principle subjects to be addressed:

1. THE DISTANT VIEW  
FORM AND MASSING
2. THE MIDDLE VIEW  
MAIN BUILDING ELEMENTS
3. THE CLOSE VIEW  
DETAILS, MATERIALS AND FINISHES

The appreciation and understanding of architecture progresses through an ordered sequence of perception. At each distance from which a building is viewed there should be a sense of complete expression.

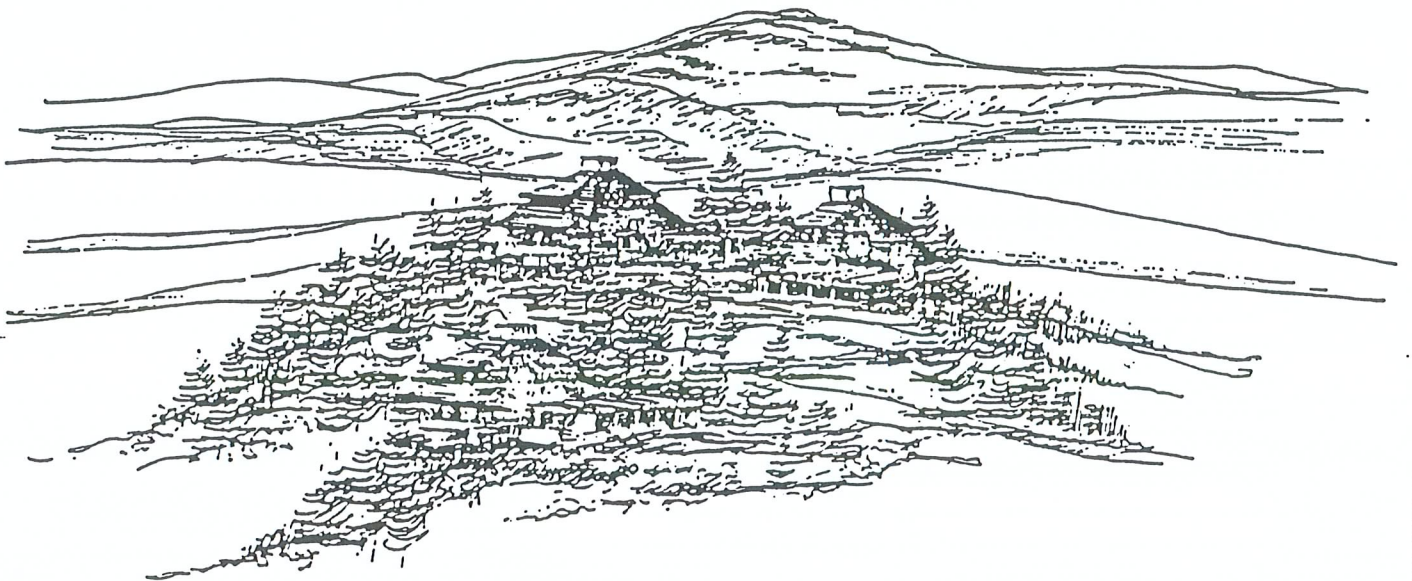
From a distant view, the sculpture of a building should stand on its own. As one shortens the view, the main elements and details, as they appear, should have a strong sense of natural inter-relationship to one another and to the overall form.



## THE DISTANT VIEW


### FORM AND MASSING

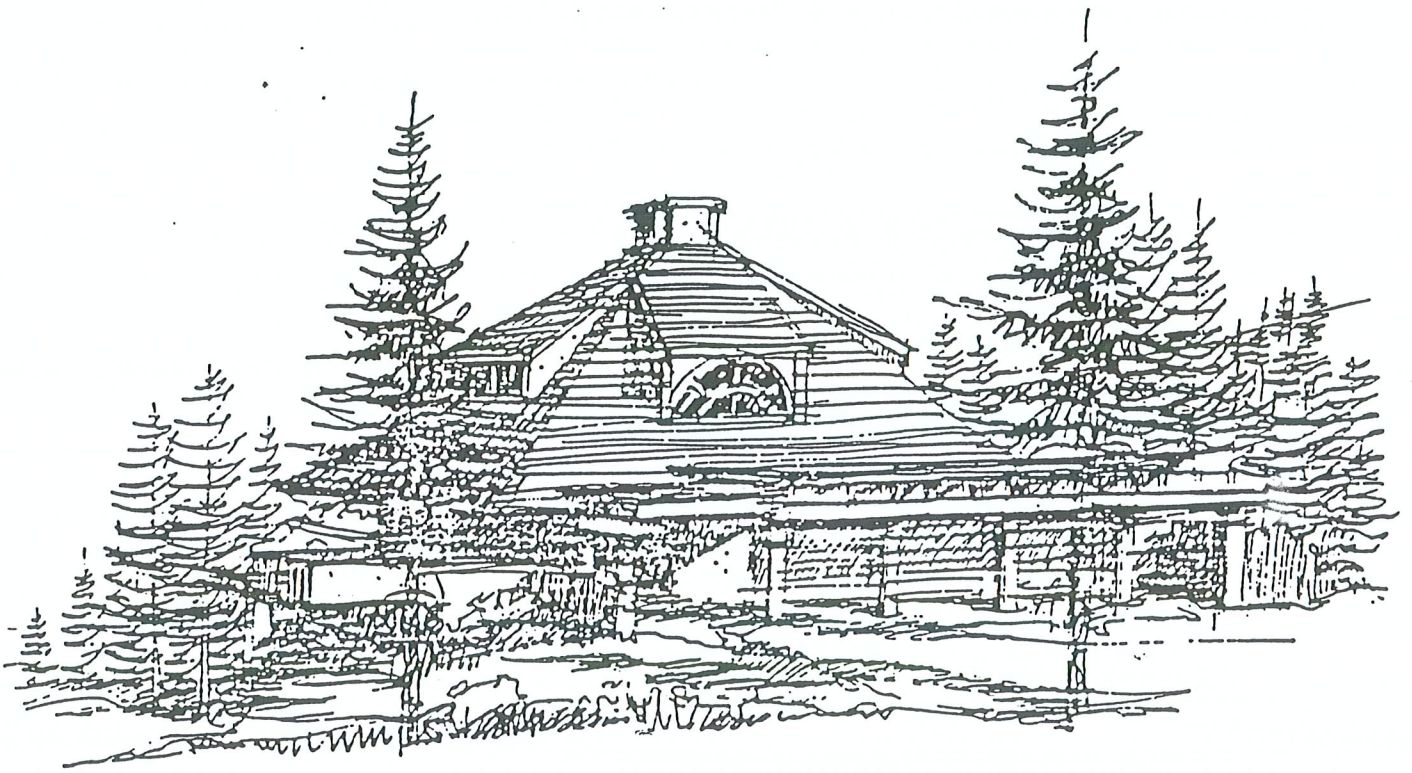
When any building is viewed from a distance sufficient to eliminate any perception of small scale elements and details, it becomes simply a system of three dimensional shapes.



Light, playing in various ways upon the surfaces of these shapes, reveals their form, depth and inter-relationships. It becomes the simplest and most powerful kind of sculpture. But a house is not a museum piece displayed independent of its surroundings under controlled conditions. It is only one part of an integrated whole that includes the rock formations, vegetation, color and contours of the site. The ever changing light reveals the house as fixed in, and controlled by nature.

Viewed from any angle in any light of the day, the building should exhibit a reposeful and complimentary sense of belonging to the site. This achieved, the neighborhood becomes a series of pleasant visual experiences.

A study model of your house on its site, done by your architect, can be very valuable in helping you both visualize what the distant view and sculptural qualities of the house will be. 



## THE MIDDLE VIEW

### BUILDING ELEMENTS

The major elements to be considered reveal themselves texturally at the medium range view and it is essential that they are a natural, harmonious adjunct to

the large scale sculptural forms that we saw from the distance. These principal features include roofs, walls and openings and foundations.



## ROOFS

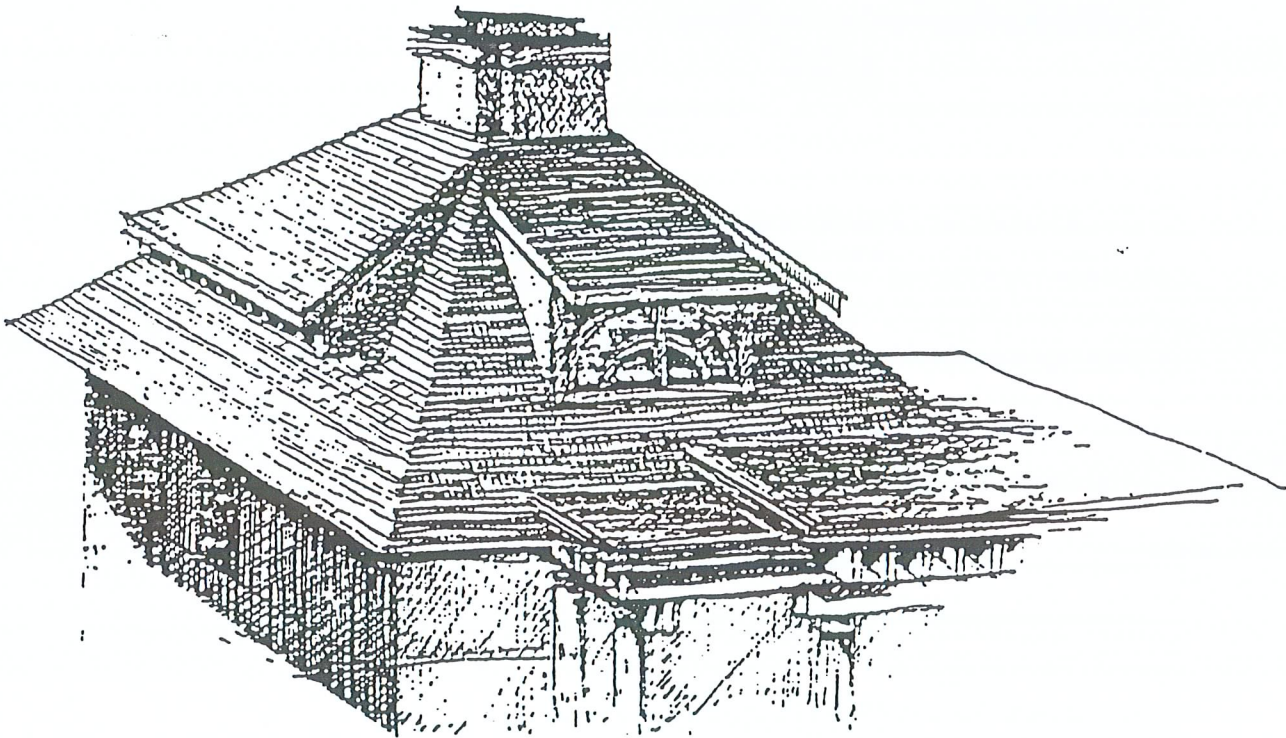
Visually, the roof is probably the single most important element in an overall building design.

The large strong planes terminate and command the building shape.

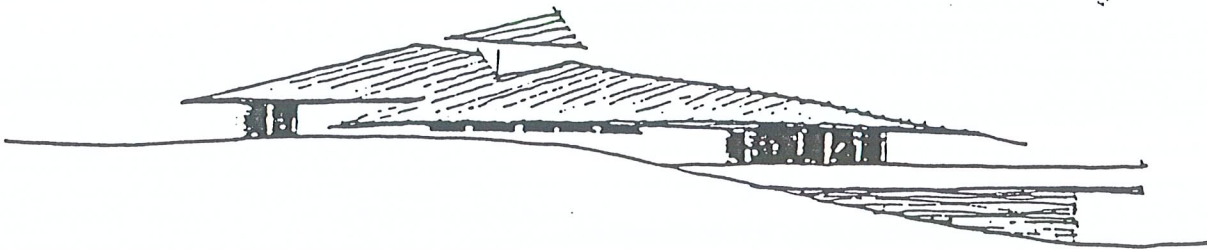
choice of roof form is influenced critically by the height from which the building will be viewed.

Pitched roofs are generally more appropriate when they will be viewed from above and because they always will be seen, their form is most important.

The use of major rooftop elements such as dormers, chimneys or skylights should enhance the form and be an integral part of it and not be an obtrusive add-on in appearance.



Steeply pitched, high roof forms are usually well suited to sites where tall dense vegetation compliments the form.



Very low pitched roofs are most effective in lower valleys and flat grasslands where the terrain is relatively level and vegetation is low or sparse.

Flat roofs with broad overhangs may also be appropriate in these low areas only if not immediately visible from above.



Parapet wall and flat roofed buildings may be appropriate on upper steep hillsides where viewed from below against a backdrop of higher cliffs and rocky hillsides.

The view of flat roofs from above is often very unattractive unless handled with particular skill.

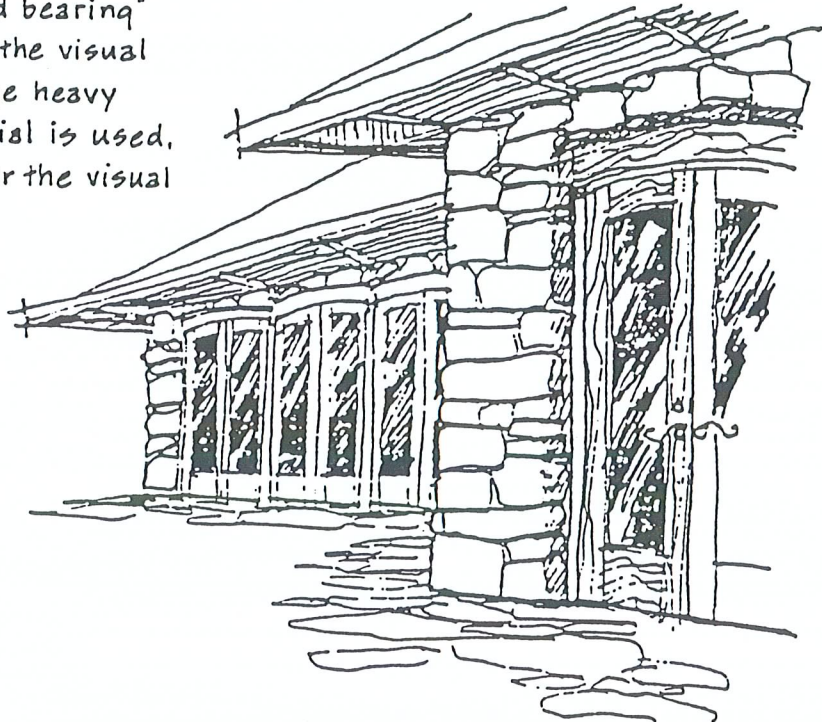
Conversely, the view of broad overhangs of flat or low pitched roofs as well as the undersides of decks and other protrusions become very visible when viewed from a low angle. In this case, special consideration must be given to these surfaces.



## WALLS AND OPENINGS

Walls are secondary to the roof in their impact on the surroundings, except in the case of a flat roof/parapet design. Walls are, however, the major supporting element of the structure and should lend the feeling of strength. Masonry has a natural "load bearing" feeling about it that gives the visual sense of support to the large heavy roof forms. Whatever material is used, its selection should consider the visual weight it must carry.

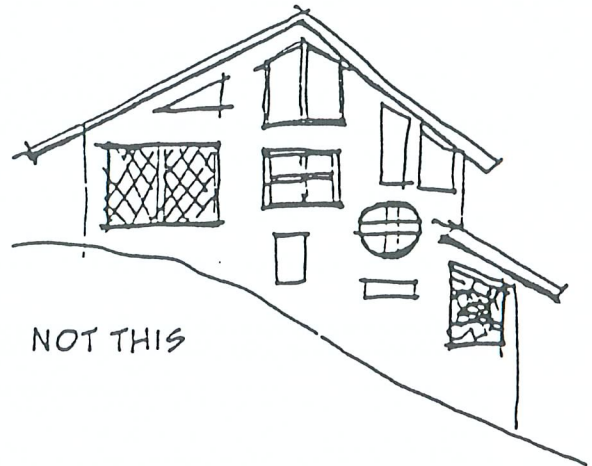
A lighter more delicate roof form could be easily carried on carefully spaced columns in a wall, that is mostly open or transparent.



① Openings of unusual shape or special treatments used arbitrarily or excessively become distracting to a good overall design. The use of such forms of treatment to "dress up" a weak design is not usually successful.

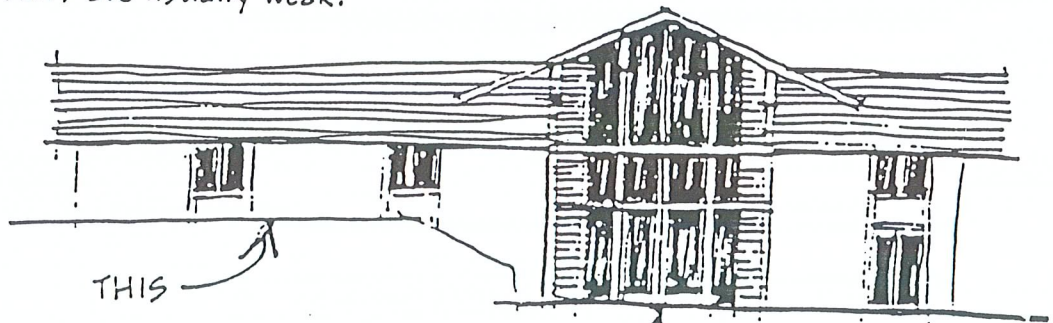
A special opening shape or treatment (such as stained glass) carefully placed as a focus both from the inside and outside can become an important element to the overall design. Design elements used consistently throughout the building, such as window muntins or arched heads on all openings can lend a continuity and rhythm to a design.

It is a good rule that roughly equal area of openings to equal area of wall solid produces an awkward visual imbalance. Combined with poor placement and excessive numbers of sizes and shapes, the results are usually weak.



NOT THIS

Walls treated as solid with a few well placed openings or as mainly open (or transparent) with a few adequately proportioned support elements, produce more successful results.



THIS

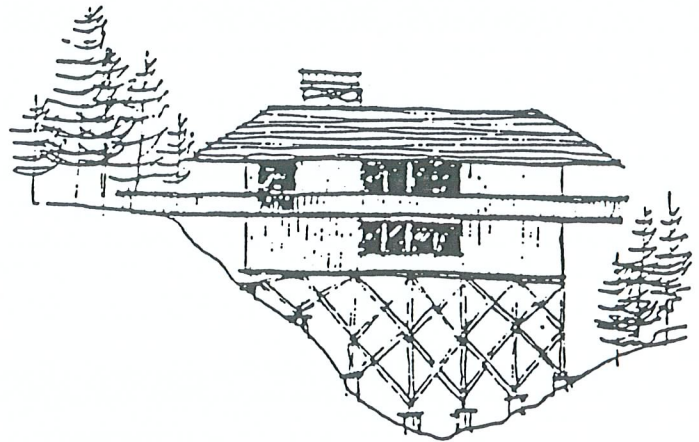
OR THIS



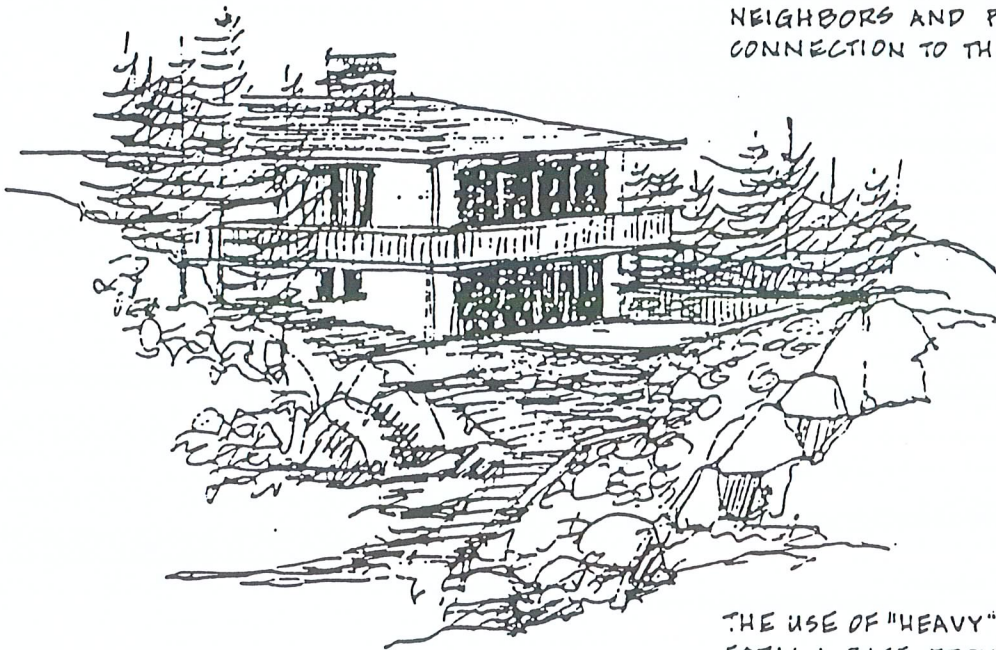
## FOUNDATIONS

The foundation walls or wood stem walls that connect the house to the ground, particularly on sloped sites, can be just as important as the roof in their impact on the overall design and its relationship to the surroundings.

The design and material selection for this important element should be adequately planned and budgeted for.



EXPOSED POSTS AND CROSS BRACED UNDER STRUCTURE IS UNSIGHTLY, ESPECIALLY TO NEIGHBORS AND PROVIDES NO VISUAL CONNECTION TO THE GROUND.

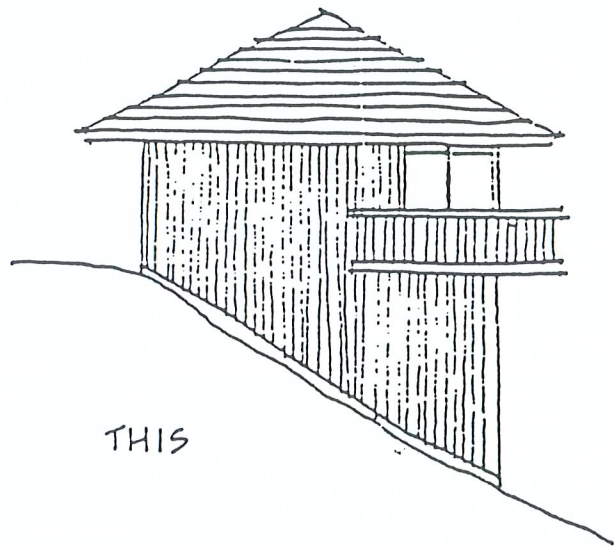
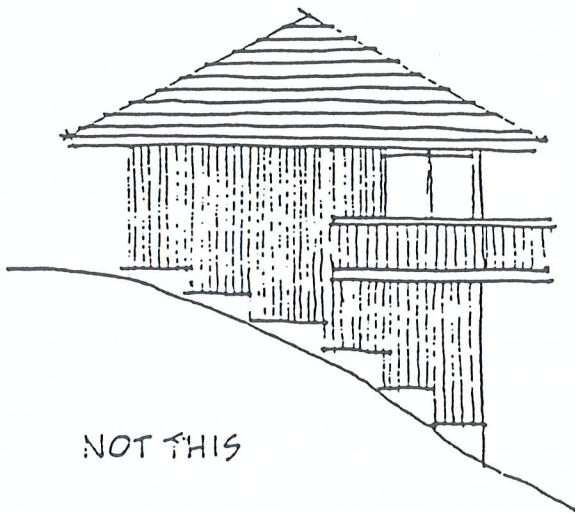


THE USE OF "HEAVY" NATURAL MATERIALS TO FORM A BASE PROVIDES A NATURAL TRANSITION TO THE GROUND. WHATEVER THE MATERIAL, IT SHOULD BE AN EXTENSION OF OTHER ELEMENTS SUCH AS WALLS OR TERRACES AND NOT ACCENTUATE A BREAK BETWEEN THEM.



## STEPPED FOOTINGS

Wood siding that extends from walls down over foundation walls should follow grade lines, not the steps in the concrete foundation.



## THE CLOSE VIEW

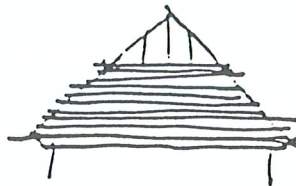
### SECONDARY ELEMENTS - DETAILS

There are many more building elements that come into view at middle distances. Usually they are secondary adjuncts to major elements, such as a skylight on a roof. In some cases, they become no more than a texture, such as trellis.

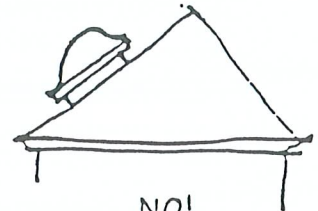
It is important that in all cases, however, that these elements integrate with the whole. What may start out as a minor feature can become a distracting eyesore.

#### SKYLIGHTS:

Don't automatically use a plastic bubble design because it is most common. It can be used poorly and there are many other styles available. It should tie into the roof form - not be a parasite.



YES

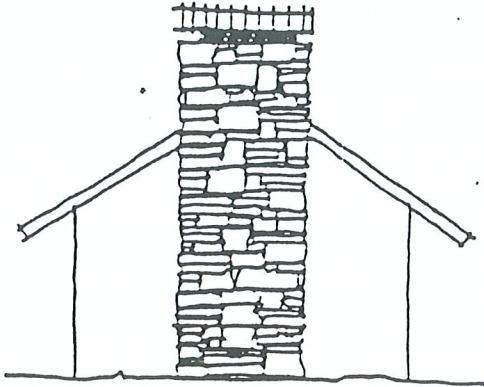


NO!

## CHIMNEYS-

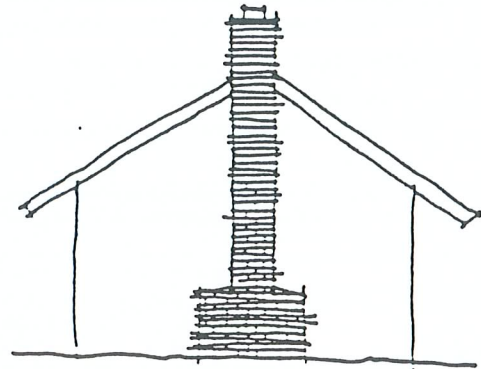
are usually very strong roof elements. Codes require that they extend higher than adjacent roof lines.

Careful choice of proportion and material should give them a substantial and stable appearance.



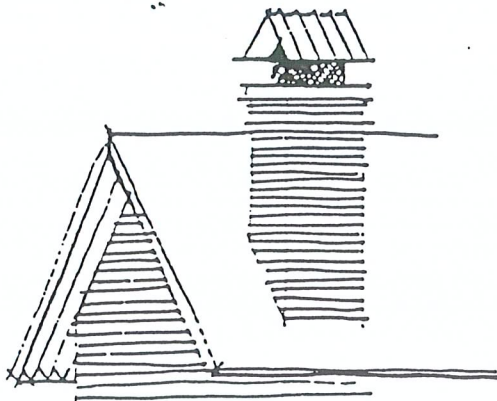
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The use of prefab fireplaces and flues is economically sound. However, they need not have the stove-pipe appearance. Enclosing the flue in a masonry or wood chimney

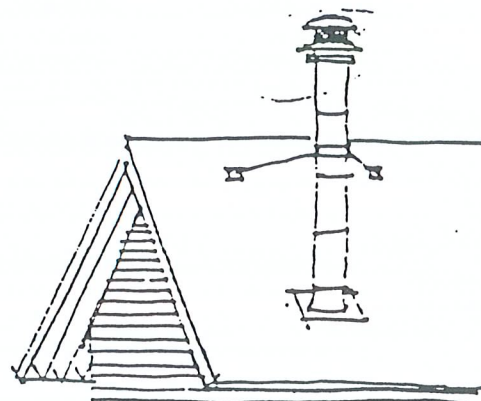


NOT THIS

with substantial proportions will solve the problem. Important Note: Maintain all clearances specified by manufacturer. The use of fire-proof enclosures is prudent.



THIS



NOT THIS

\* Spark arresters will be required on all chimneys at Castle Pines.

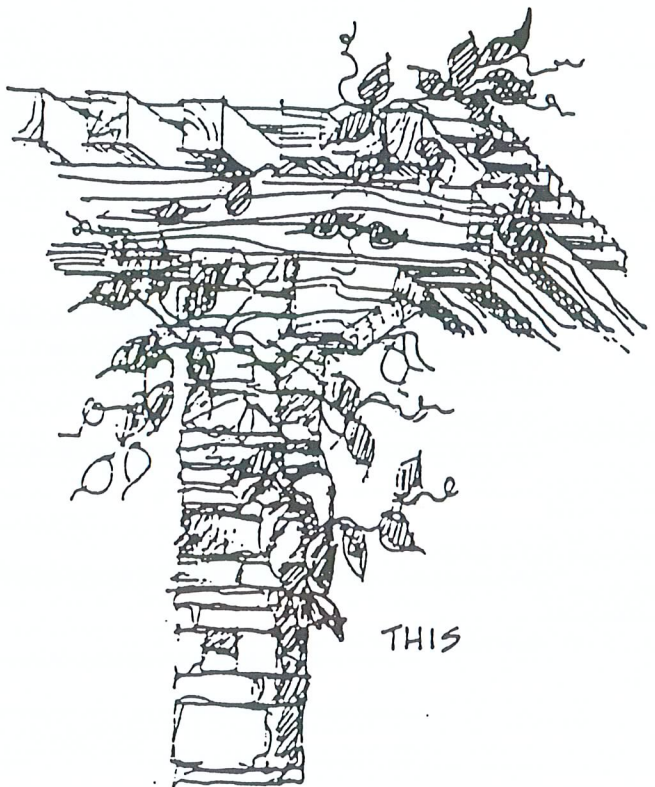
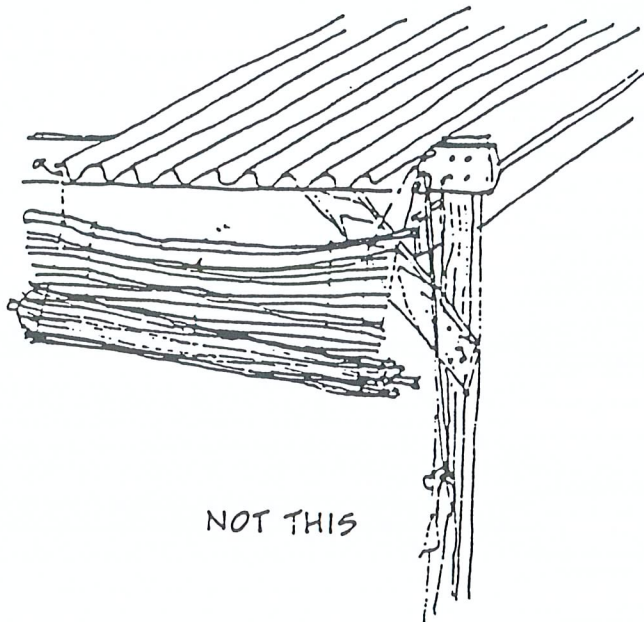


## TRELLIS -

Can be very pleasing and functional structures by providing partial shade, screens for privacy or an arbor for climbing plants. They provide the warmth and texture of wood at a relatively low cost.

It is important to consider a trellis a permanent structure and design it accordingly.

AVOID CORRUGATED FIBERGLASS METAL, OR OTHER TEMPORARY TYPE MATERIAL

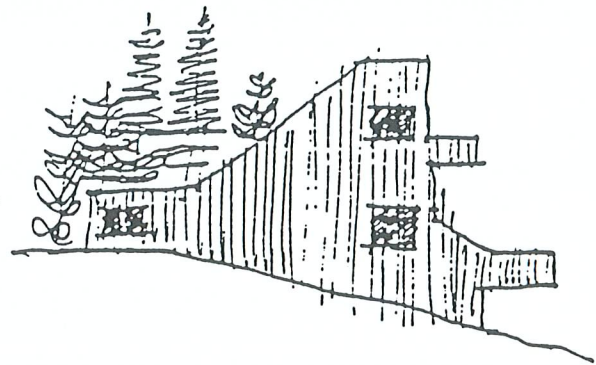


## MATERIALS AND FINISHES

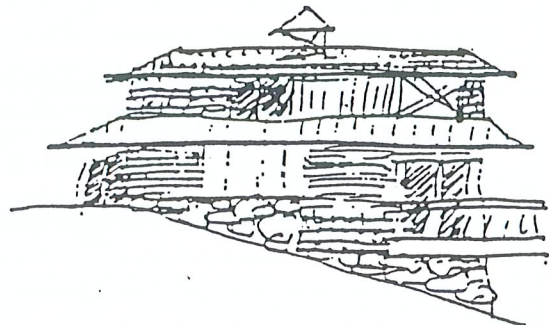
In keeping with the goals of Castle Pines to maintain and preserve the natural surroundings, design in harmony with nature should be extended to material, finish and color selection.

Natural materials such as stone and wood by their nature inherently work well with the surroundings. Natural colors or transparent finishes on these materials not only enhance them, but actually improve with age and are low maintenance. Man-made materials of natural colors and textures are also suitable.

Only when man-made materials try to mimic natural materials or are finished in bright or highly reflective colors are they offensive.



Brick, natural tile, concrete, steel and glass used honestly can be pleasant. Large expanses of a single material, especially if unbroken by detail or depth, can become overpowering to the rest of the building form and the surroundings.



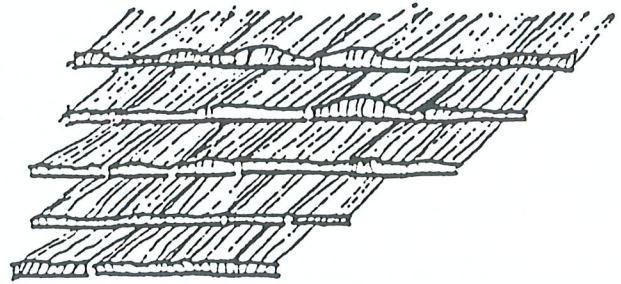
ON THE CONTRARY, OVER-DETAILING WITH USE OF TOO MANY DIFFERENT MATERIALS OR TEXTURES CAN CREATE CONFUSION AND DISTRACT FROM AN OTHERWISE GOOD DESIGN.



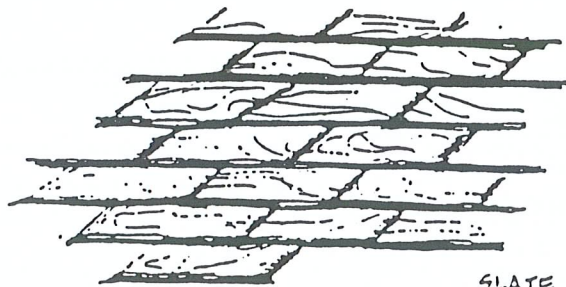
## ROOFING MATERIALS

The goal is to use natural, warm and attractive materials. Many man-made roofing products, especially those imitation natural products such as fibre-glass and asphalt shingles, high glazed tiles or brightly painted metal all fall short of the goal.

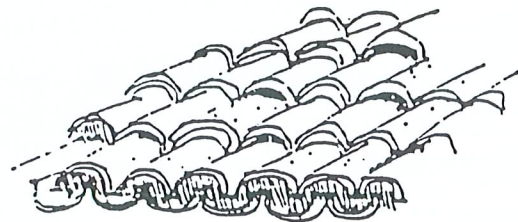
Recommended Materials:



WOOD SHAKES OR SHINGLES

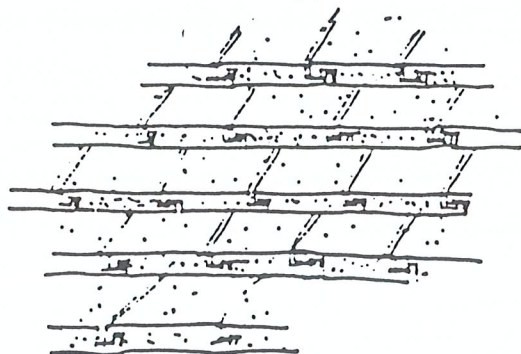


SLATE

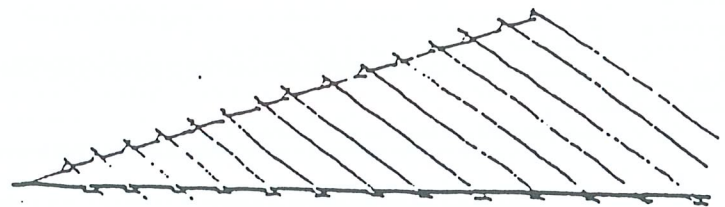


NATURAL CLAY TILES

Some man-made materials may be appropriate with careful selection of texture and color and with approval from the Design Committee.



CONCRETE TILES WITH NATURAL TEXTURE & COLOR



RIBBED METAL OF CORTEN STEEL (CONTROLLED OXIDATION) OR SIMILAR PAINT (RUSTS & BROWNS)



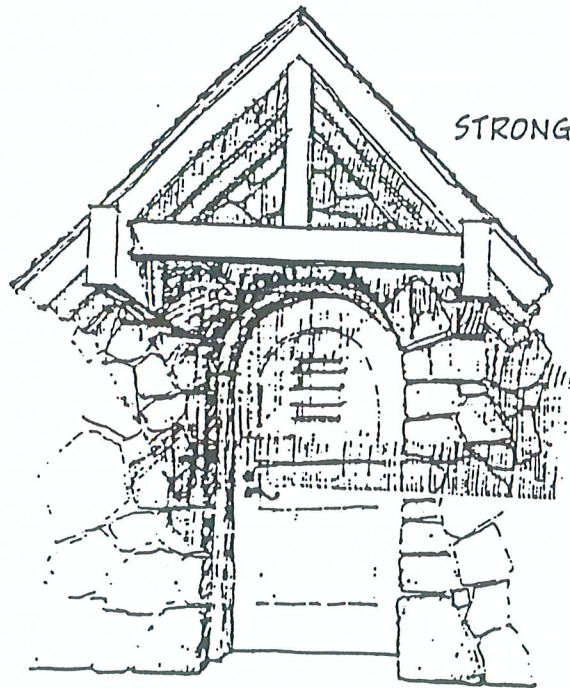
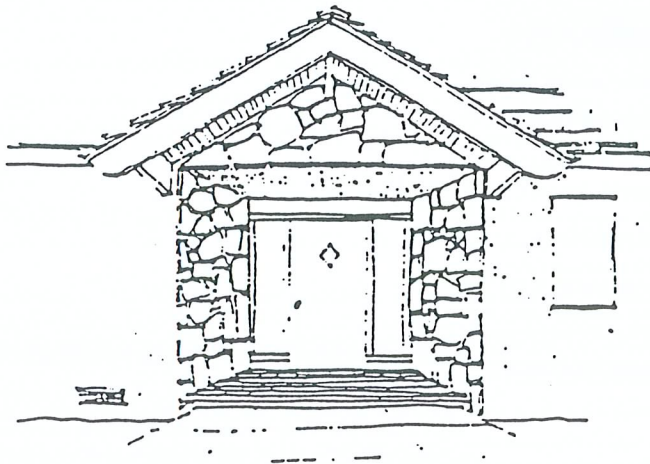
## MASONRY

Masonry used for a decorative wainscot or "skirt" is a weak use of a "strong" material.



Use of any masonry, especially veneers, for arbitrary, decorative purposes such as thin panels to accent an entry does not express the true nature of the material. It is especially evident when poor detailing or lack of sound design thinking leaves the thin edge of the veneered panel exposed to view.

Use of multiple mixed types of masonry, such as brick and stone, used together is rarely successful and at the least is detracting to one another.

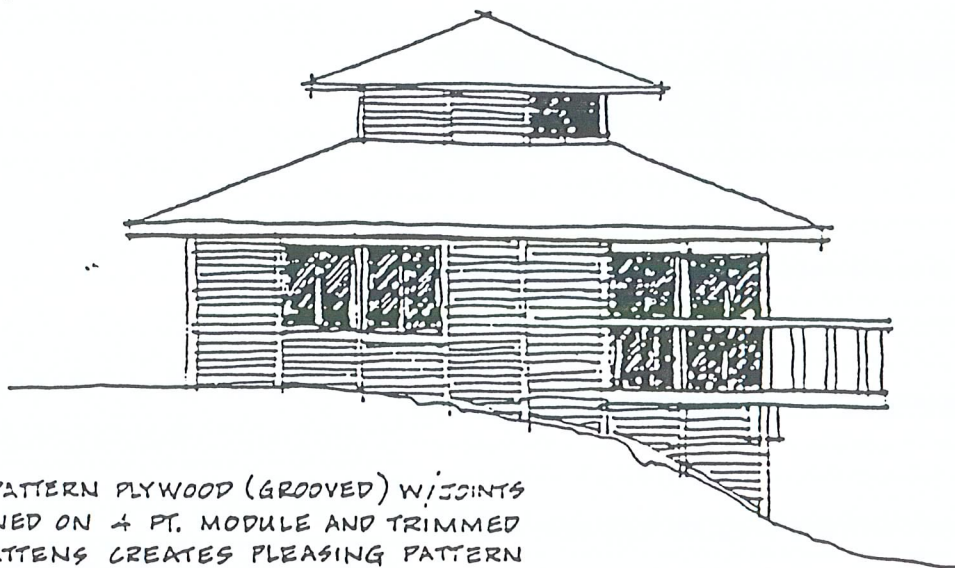


STRONG USE

## WOOD SIDING

Clapboard, rustic and any correctly detailed board siding is appropriate. Plywood siding, if care is taken in detailing and installation, can also be successful.

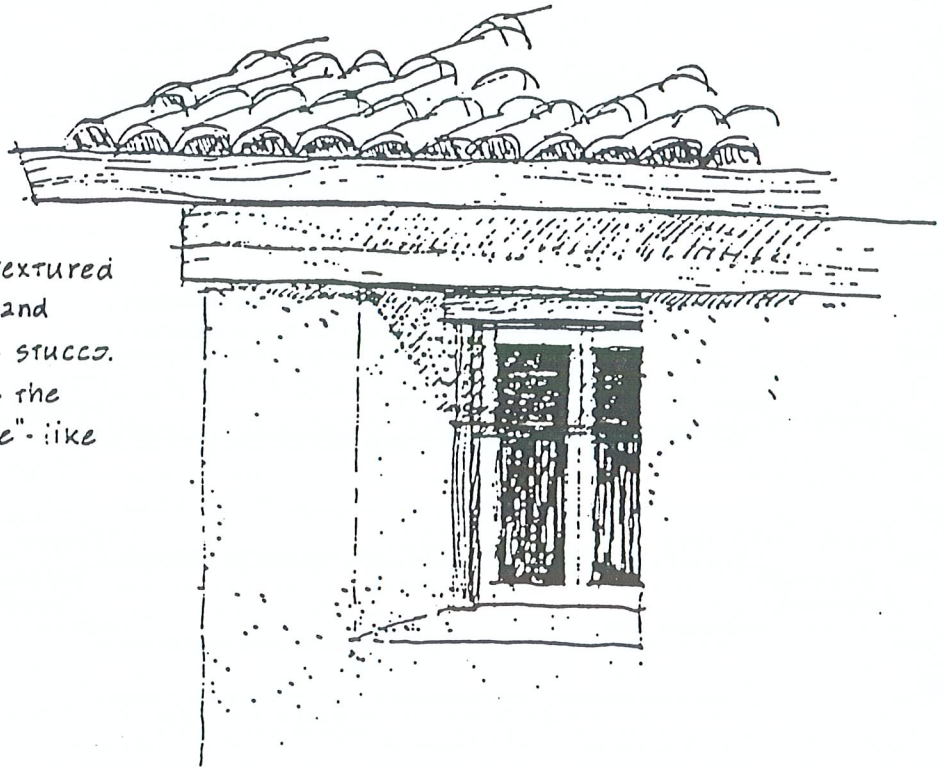
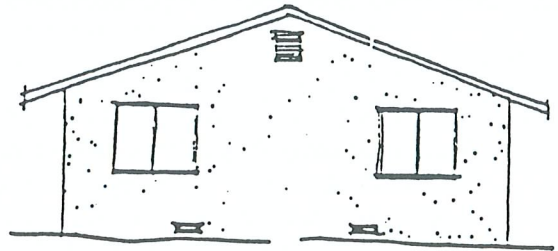
PLYWOOD APPLICATION WHERE SHEET MODULES ARE EVIDENT BECOMES UNATTRACTIVE, ESPECIALLY ON LARGE EXPANSES UNBROKEN BY OTHER ELEMENTS.



T-4 PATTERN PLYWOOD (GROOVED) W/ JOINTS PLANNED ON 4 FT. MODULE AND TRIMMED W/ BATTENS CREATES PLEASING PATTERN AND ALSO BREAKS THE PANEL AFFECT.

## STUCCO OR PLASTER

Appropriate when used in conjunction with other materials to break up the starkness and monotony associated with inexpensive "cover-all" applications.



Heavy trim or other heavily textured materials can create contrast and interest to the flatness of the stucco. Giving depth to openings gives the stucco wall a feeling of "adobe"-like mass and strength.



## INAPPROPRIATE DESIGNS

Even though there may be many merits to experimental or radical building designs, it has been determined that generally such departures from established architectural practice and construction techniques is not in keeping with the quiet, more conservative character upon which Castle Pines is built. Passive solar and energy efficient designs are encouraged and it is felt that these relatively new and innovative concepts can be incorporated without compromising the design goals of Castle Pines.

Lengthy research and consideration by the professional design team has shown that typically the most objectional examples are those that result from so called cost or time savings construction methods such as kits or prefab modules or the adaptation of building systems more suited to uses other than for custom residential. D.P.